

CITY OF NEWTON, MASSACHUSETTS

PURCHASING DEPARTMENT

purchasing@newtonma.gov

Fax (617) 796-1227

December 15, 2011

ADDENDUM #2

INVITATION FOR BID #12-32

LOWER FALLS COMMUNITY CENTER IMPROVEMENTS

THIS ADDENDUM IS TO: Answer the following Questions: and consists of 10 pages including 3 attachments (SKA-01, SKA-02 and the window materials sampling and test results)

Q1. Storage for salvage Materials? Does LFCC provides any space? (mats, doors, etc).

A1. The phasing plan limits the scope of work to a single classroom at any period so the storage for salvage materials can be down within each classroom under repair and the door will be reinstalled at the completion of the classroom. Likewise, when work takes place within the gymnasium and the office areas, materials to be reinstalled can be stored in the limited work area within those areas.

Q2. Is there any exterior space allocated for Dumpsters, Trailers, etc?

A2. Space will be allowed for dumpsters and trailers. Locations on site to be determined.

Q3. Remove and dispose of existing shades. Provide new ones. Please confirm.

A3. Yes, remove and dispose and provide new. See Demolition Note #3 on Drawing D2 and window general Note #1 on Drawing A3 and specification Section 12 24 00 – Window Shades.

Q4. Detail 14/A5 mentioned does not exist. You mean 14/A3. Please confirm.

A4. Reference should be 14/A3

Q5. Gymnasium: Items are fixed on interior of perimeter walls where we insulate. How do we proceed? Remove and reinstall or other? Please Clarify.

A5. Remove and store the two existing basketball back boards and supports and store in a safe place on site. Backboards are to be re-installed in same mounting locations and shall be the same distance from the foul lines when set on face of new wall. Refer to SK-01 for additional information. Remove the existing motion sensor at South-East corner and re-install in the same location when the new wall is completed. Remove existing emergency lights/cage at the East and West walls. Provide solid blocking for re-installation of light and cage at West wall only. Remove and discard clock and cage on the East wall. Remove emergency exit signs on the East and West ends of the north wall and the existing fire alarm pull and strobe are to be removed and rewired if required in order to install at new location. Only one illuminated exit sign is to be reinstalled above the new exit door. Refer to SK-02 for additional information. Terminate abandoned feeds from exit sign and clock at North-East corner of gymnasium and emergency light at East wall per City of Newton Wiring Department requirements. At two existing outlets on East & West walls, install workbox extenders in order for the existing outlets to be flush with the new finished wall surfaces.

Q6. Section 024100 6 Demolition, 1.02B3. Notes the Caulking and glazing have asbestos. Is there a report available? Also to confirm, is the owner contracting with a Hygienist.

A6. Universal Environmental did perform sampling and testing. The results of the sampling is attached to this addendum. The Owner will be responsible for contracting a Hygienist to perform monitoring services during construction.

Q7. Section 037300 6 Concrete Repair as the spec is written the GC owns all repairs found below the grade after this foundation is exposed. As of today the plan only identifies three locations to have repairs. After walking the site there are many more areas visible. Most tops of wall where the window systems rests is in bad shape with many visible cracking. As it stands right now a GC would cover the entire surface to cover the unknown scope of work. It is our recommendation that the owner should set an allowance of repairs to be done beyond what is noted on the drawings. This way you will have control of the cost and set every Bidder on the same playing field. With the intent that any work above would be negotiated. The owner then would have less headache and better control over the issue.

A7. Clarification: Any visible damaged concrete foundation is to be repaired under the base bid, including the locations noted as well as the sills at the top of the foundation walls where the existing windows are set. Each bidder is directed to carry an allowance of \$ 5,000 in their bids to cover the costs for repairs to any additional concrete work that is required if it is revealed during excavation. The contract amount will be adjusted up or down depending on whether more or less work is required under the allowance.

Q8. The New Door and Frame being asked for shows not dimensions. The Demo drawing notes the RO to be 3'-0" is this correct and height to match the existing?

A8. Rough opening of demolition should be sized to allow for a new 3'-0" x 6'-10" door and frame. Refer to detail 18 & 19 on A3.

Q9. Please provide clarification as to who will be responsible for securing the fire alarm system during construction and what procedures need to be followed to do so.

A9. The Fire Department has indicated that it is required that fire protection of some form remain throughout construction. GC shall provide heat detectors in place of the existing smoke detectors where applicable within the space where work is being done. This process will require that GC hire a licensed electrician to coordinate with the fire department wire division, as they serve as the authorized service company for this property. The electrician shall submit a plan to maintain protection and secure a permit from the fire department. Once the construction is completed the original smoke detectors shall be reinstalled.

Q10. Will a staging area be set aside for the contractor to store things such as a dumpster, storage container and mobile tool vehicle.

A10. See Q2, A2

Q11. Was ACM Report done to identify ACM materials? This report should be provided in order to accurately price ACM removal work. A specific area would be caulking at aluminum window walls may or may not be ACM.

A11. See Q6, A6

Q12. Please provide a bid quantity for concrete foundation spall repair area. Drawings only identify area at NE corner of Gym and two areas at Elev 1/D2 on D1

A12. See Q7, A7. Refer to Detail 8/A5.

Q13. D1 West side of Classroom 1 and crosshatch area referenced to General Note on A1 indicate work noted in General Note; however Section 2A/A4 for this area does not show this work. Which is correct?

A13. See wall section 1/A4 and detail 1/A5 for more information.

Q14. At Gym nothing is shown for remove/reinstall of basketball backboards, emergency lighting, clock/intercoms?, or electric receptacles at wall pads. Is this work by others?

A14. See attached SK.01 also Q.5, A5 in this addendum.

CHANGES TO THE DRAWINGS:

- Item 1.01. Drawing D1. Classroom 1 - At the west wall, add the following note: "Carefully remove and store the existing tackboards. The tackboards are to be reinstalled."
- Item 1.02. Drawing D1. Classroom 2- At the east wall, add the following note: "Carefully remove and store the existing tackboards. The tackboards are to be reinstalled."
- Item 1.03. Drawing D2. Demolition notes: Delete Note #4 in its entirety and replace with the following note: "4. Remove and deliver existing air conditioning units to Owner. The Owner shall be responsible for storage."
- Item 1.04. Drawing D2. Elevation 3/D2- Delete the door opening dimensions and add the following note: "Provide a new rough opening to accommodate a new 3'0" x 6'8" door and frame."
- Item 1.05. Drawings D2 and A2. Change all Elevation scale references from: $\frac{1}{4} = 1'0"$, to: $\frac{1}{8} = 1'0"$.
- Item 1.06. Drawing A1. Classroom 1 - At the west wall, indicate the existing tackboards to be reinstalled. Provide blocking, if required, in the new stud partition.
- Item 1.07. Drawing A1. Classroom 1 - At the east wall, indicate the existing tackboards to be reinstalled. Provide blocking, if required, in the new stud partition.
- Item 1.08. Drawing A1. Classroom-3- Delete the new duplex outlet closest to exterior door. Change the quantity in the note referring to new duplex outlets from: 4, to: 3.
- Item 1.09. Drawing A1. Gymnasium- Exterior elevation symbol clarification. Elevation symbols located on the North wall at new sidewalk. Symbol facing West should read as 5/A2. Symbol facing East should read as 4/A2.
- Item 1.10. Drawing A2. West Elevation 1/A2- Continue cross hatching, depicting excavation and insulation below grade, to the South end of the building.
- Item 1.11. Drawing A3. Detail #18- Remove "FIXED WINDOW TO ENTRANCE" below detail title.
- Item 1.12. Drawing A3. Add Detail #19 title symbol between Detail #18 and Detail #20. Detail Title shall be "DOOR JAMB"
- Item 1.13. Drawing A3. Detail #20- Remove "FIXED WINDOW TO ENTRANCE" below detail title.
- Item 1.14. Drawing A4. Wall Section 5/A4. Change enlarged detail reference from: 14/A5, to: 14/A3.

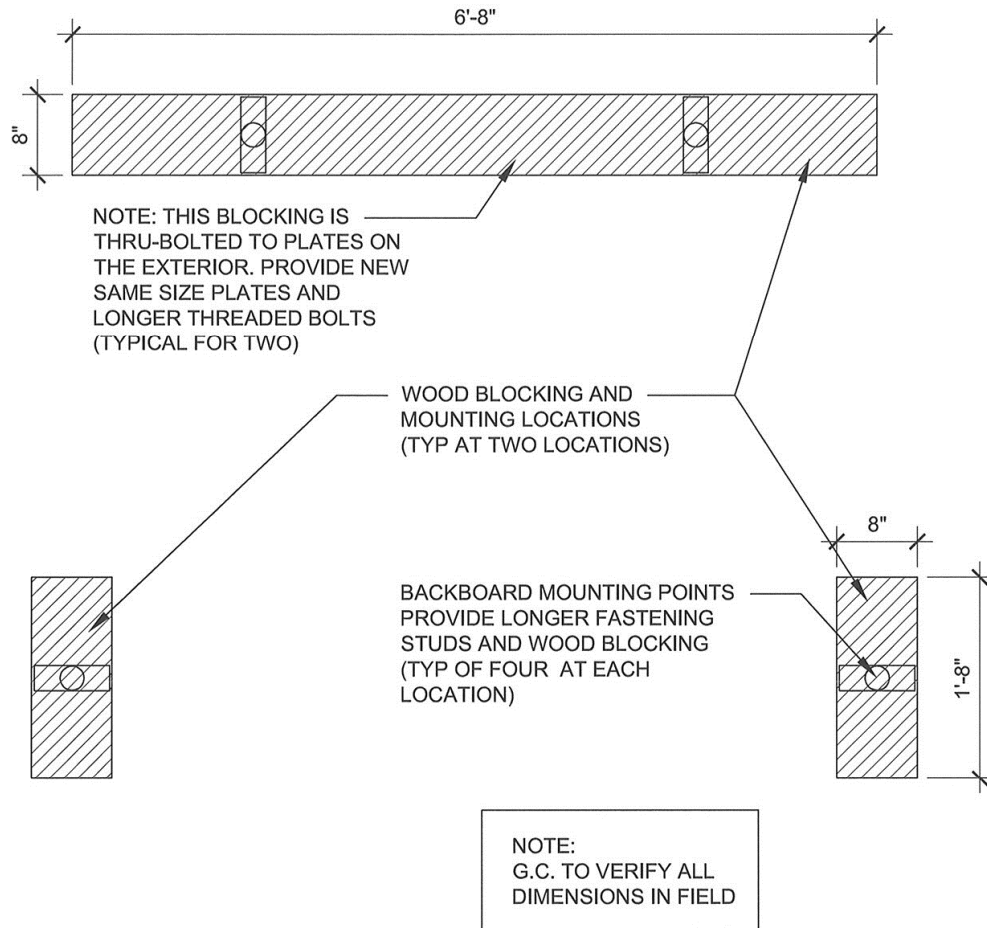
All other terms and conditions of this bid remain unchanged.

PLEASE ENSURE THAT YOU ACKNOWLEDGE THIS ADDENDUM ON YOUR BID FORM.

Thank you.



Rositha Durham
Chief Procurement Officer



GENERAL NOTE: REMOVE EXISTING BASKETBALL BACKBOARDS AND EXISTING WOOD BLOCKING. REPLACE EXISTING THREADED RODS WITH NEW LONGER THREADED RODS SO THAT THE RODS WILL EXTEND PASS THE NEW BLOCKING (ROUGHLY 3") AND CAN BE FASTENED WITH REQUIRED NUT. INSTALL NEW RODS, RE-INSTALL EXISTING SOLID WOOD BLOCKING IN THEIR RESPECTIVE PREVIOUS LOCATIONS. PROVIDE TWO LAYERS OF 2X8 SOLID WOOD BLOCKING (SHOWN IN HATCH) ON TOP OF RE-INSTALLED BLOCKING. PAINT EXPOSED WOOD BLOCKING. PAINT TO MATCH WALL RE- INSTALL BACKBOARDS. ENSURE DISTANCE FROM BACKBOARD TO FOUL LINE IS SAME AS EXISTING

1 ELEVATION- BACKBOARD MOUNT SCALE: 3/4"=1'-0"

KBA ARCHITECTS
KNIGHT, BAGGE AND ANDERSON, INC.

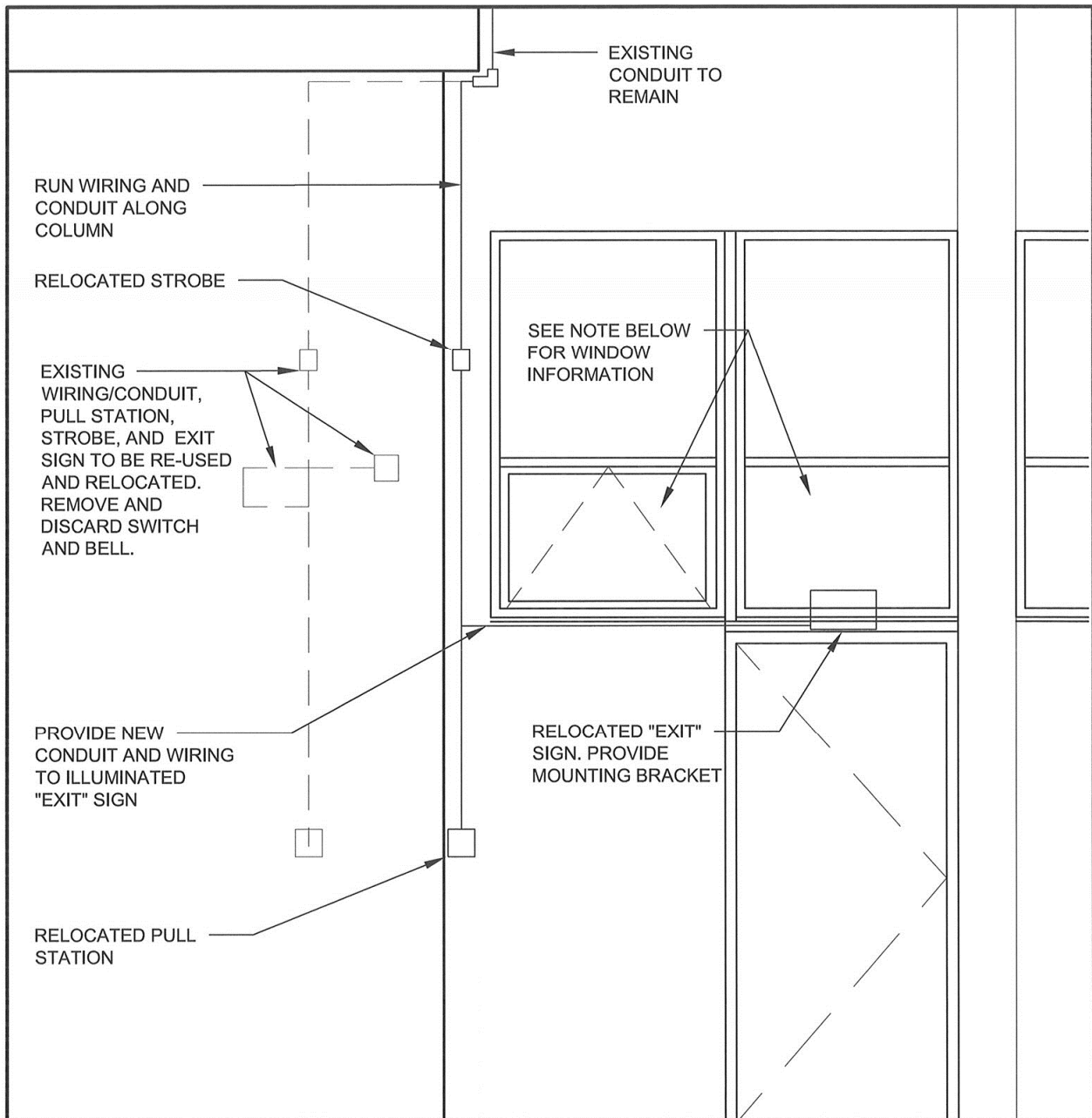
6 THIRTEENTH STREET
CHARLESTOWN, MA. 02129
617-241-2807 (T)
617-241-2857 (F)

LOWER FALLS COMMUNITY
CENTER ENVELOPE
IMPROVEMENTS
545 GROVE STREET
NEWTON, MA 02462

DRAWING TITLE
BASKETBALL
BACKBOARD
MOUNTING

JOB No.
S112110-N
DATE
12-13-11
REF. DRAWING
A1

SKETCH No.
SKA-01



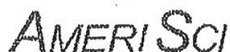
WINDOW NOTE: ELEVATION 3/A2 SHOWS A TYPE "E" WINDOW WITH AN OPERABLE WINDOW ABOVE THE DOOR. PLEASE NOTE THAT THE OPERABLE WINDOW HAS BEEN REVERSED IN ELEVATION SO THAT THERE IS NOW A FIXED WINDOW ABOVE THE NEW DOOR.

1

INTERIOR PARTIAL ELEVATION

SCALE: 1/2"=1'-0"

KBA ARCHITECTS <small>KNIGHT, BAGGE AND ANDERSON, INC.</small> 6 THIRTEENTH STREET CHARLESTOWN, MA. 02129 617-241-2807 (T) 617-241-2857 (F)	LOWER FALLS COMMUNITY CENTER ENVELOPE IMPROVEMENTS 545 GROVE STREET NEWTON, MA 02462	DRAWING TITLE FIRE-ALARM MOUNTING LOCATIONS	JOB No. S112110-N DATE 12-13-11 REF. DRAWING A1	SKETCH No. SKA-02
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**AmeriSci Boston**

8 SCHOOL ST.
WEYMOUTH, MA 02189
TEL: (781) 337-9334 • FAX: (781) 337-7642

PLM Bulk Asbestos Report

Universal Environmental Consultant
Attn: Ammar Dieb
12 Brewster Road

Framingham, MA 01702

Date Received 05/06/10 **AmeriSci Job #** 510051075
Date Examined 05/07/10 **P.O. #**
Page 1 **of** 3
RE: 545 Grove St / Burr Elem; Newton

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
1 A Location: 545 Grove St., Main Entrance	510051075-01	Yes	3 % (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: Grey, Homogeneous, Fibrous, Win Fr Asbestos Types: Chrysotile 3.0 % Other Material: Fibrous Talc 1 %, Non-fibrous 96 %			
2 A Location: 545 Grove St., Rear	510051075-02		NA/PS
Analyst Description: Win Fr Asbestos Types: Other Material:			
3 A Location: 545 Grove St., Gym Win System	510051075-03		NA/PS
Analyst Description: Win Fr Asbestos Types: Other Material:			
4 B Location: 545 Grove St., Small Win, Rear	510051075-04	No	NAD (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: White, Homogeneous, Non-Fibrous, Thick GI Asbestos Types: Other Material: Fibrous Talc Trace, Non-fibrous 100 %			
5 B Location: 545 Grove St., Large Win, Rear	510051075-05	Yes	Trace (<1 %) ¹ (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: Off-White, Homogeneous, Non-Fibrous, Thick GI Asbestos Types: Chrysotile <1. % Other Material: Non-fibrous 100 %			

See Reporting notes on last page

Client Name: Universal Environmental Consultant

PLM Bulk Asbestos Report

545 Grove St / Burr Elem; Newton

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
6 Location: 545 Grove St., Under Win, Rear	510051075-06	No	NAD (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: Brown, Homogeneous, Fibrous, Material in Metal Panel Asbestos Types: Other Material: Cellulose 95 %, Non-fibrous 5 %			
7 C Location: Burr Elementary, Front of School	510051075-07	Yes	4 % (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: White/Grey, Homogeneous, Fibrous, Win Fr Asbestos Types: Chrysotile 4.0 % Other Material: Non-fibrous 96 %			
8 Location: Burr Elementary, Front of School	510051075-08	No	NAD (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: Black, Homogeneous, Non-Fibrous, Thick Rubber Gl Asbestos Types: Other Material: Non-fibrous 100 %			
9 C Location: Burr Elementary, Rear of School	510051075-09		NA/PS
Analyst Description: Win Fr Asbestos Types: Other Material:			
10 Location: Burr Elementary, Rear of School	510051075-10	No	NAD (by CVES) by Ivan H Reyes on 05/07/10
Analyst Description: Black, Homogeneous, Non-Fibrous, Thick Rubber Gl Asbestos Types: Other Material: Non-fibrous 100 %			
11 C Location: Burr Elementary, Side of School	510051075-11		NA/PS
Analyst Description: Win Fr Asbestos Types: Other Material:			

See Reporting notes on last page

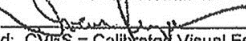
Client Name: Universal Environmental Consultant

PLM Bulk Asbestos Report

545 Grove St / Burr Elem; Newton

Reporting Notes:

(1) TEM confirmation of PLM results recommended

Analyzed by: Ivan H Reyes ; Date Analyzed: 5/7/10
NAD = no asbestos detected; CVES = Calibrated Visual Estimate; NA = not analyzed; NA/PS = not analyzed / positive stop; "Present" or NVA = "No Visible Asbestos" are observations made during a qualitative analysis; PLM Bulk Asbestos Analysis by EPA 600/M4-82-020 per 40 CFR 763 (NVLAP Lab #102079-0) or NY ELAP PLM Analysis Protocol 198.1 for New York friable samples (198.6 for NOB samples) (NY ELAP Lab # 10982); Note: PLM is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. NAD or Trace results by PLM are inconclusive, TEM is currently the only method that can be used to determine if this material can be considered or treated as non-asbestos-containing in New York State (also see EPA Advisory for floor tile, FR 59, 146, 38970, 8/1/94). NIST Accreditation requirements mandate that this report must not be reproduced except in full without the approval of the laboratory. This PLM report relates ONLY to the items tested.
Reviewed By: _____

510051075

5709 0-57 (4)

A-C

Tel: (508) 628-5486 - Fax: (508) 628-5488

Town/City: NEWTON Building Name: 545 Grove St / Burr Elem

Reported By: James D. Date: 05/06/10 Due Date: 05-10-10
Received By: M.H.P. Date: 5/8/10 16:15

Addendum #2 - Project Manual #12-32 – Lower Falls Community Center Improvements